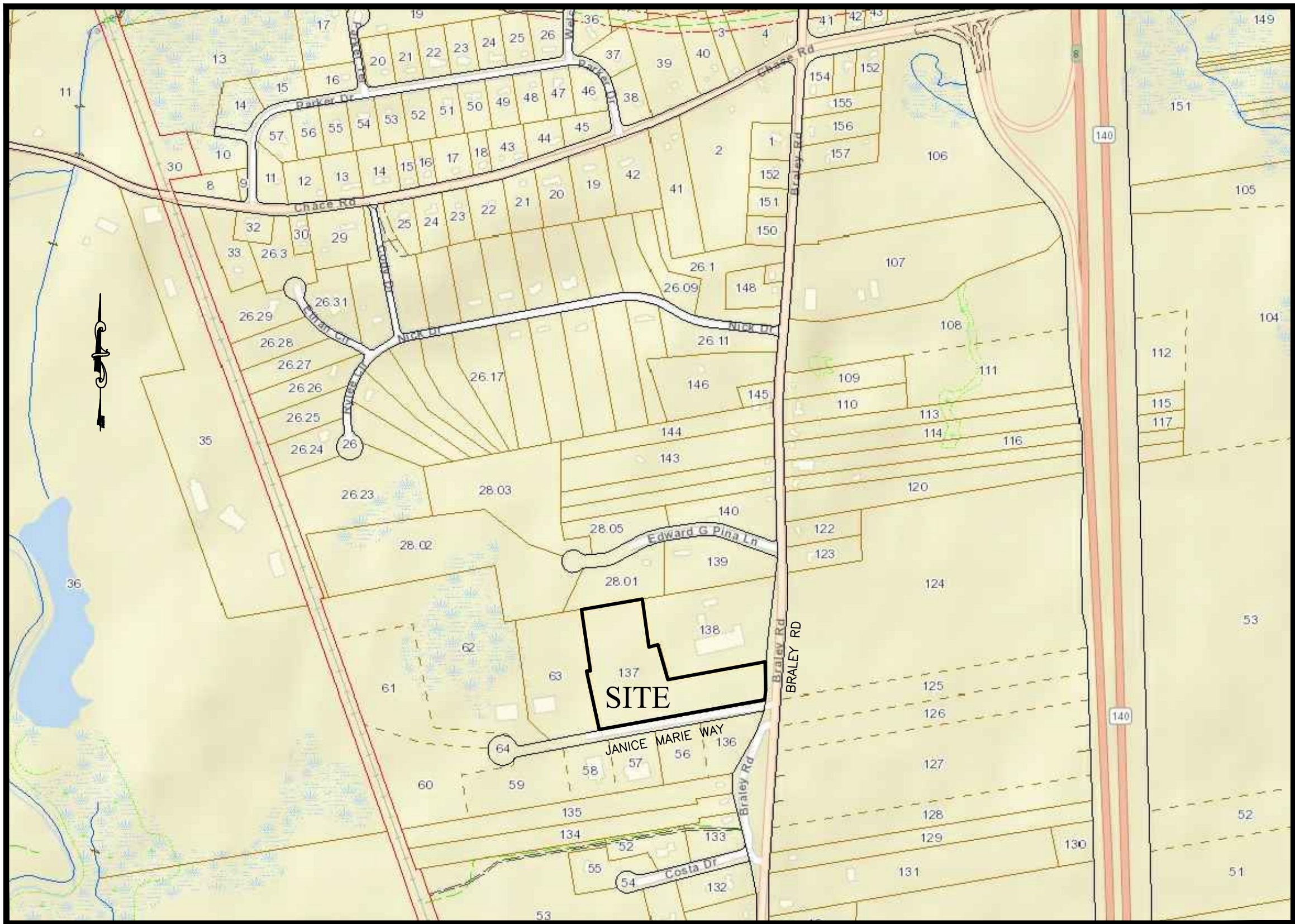


COMMERCIAL SITE DEVELOPMENT PLANS

Braley Road Assessor's Map 242, Parcels 137 Freetown, Massachusetts

JUNE 18, 2018
REVISED: APRIL 15, 2021



FREETOWN , MASSACHUSETTS
SCALE : NOT TO SCALE

PLAN INDEX	
TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
SITE LAYOUT PLAN	3
GRADING & DRAINAGE PLAN	4 – 5
EROSION CONTROL PLAN	6
UTILITY , LIGHTING & LANDSCAPE PLAN	7
CONSTRUCTION DETAILS	8 – 9



**SITE DESIGN
ENGINEERING, LLC.**
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
T: 508-967-0673 F: 508-967-0674
WWW.SDE-LDEC.COM

PLAN REVISIONS	
NO.	DATE
1	4/15/2021

DATE: AUGUST 31, 2018

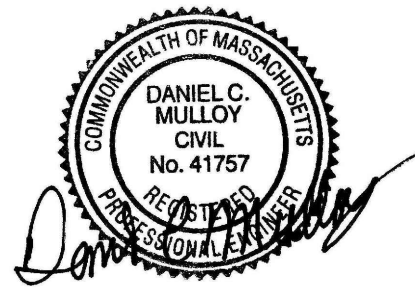
DRAWN BY:
RLM / RT

DESG. BY:
RLM / RT

CHECK BY:
RLM/DCM

PROJECT NO. 16172

ISSUED FOR:
PERMITTING



COMMERCIAL SITE
DEVELOPMENT PLAN
BRALEY ROAD
FREETOWN, MASSACHUSETTS
ASSESSORS MAP 242, PARCEL 137
PREPARED FOR
MICKEY RE, LLC

DRAWING TITLE:
COVER

SCALE: NOT TO SCALE

SHEET NO.
1 OF 9



11 CUSHMAN STREET
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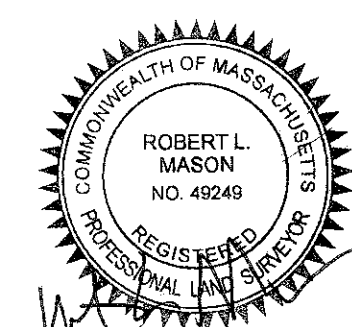
NO.	REVISION	DATE
	PLAN REVISIONS	

DATE: AUGUST 31, 2018

DRAWN BY: RLM/SKD	COMPS. BY: RLM	CHECK BY: RLM/DCM
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PROJECT NO.	16172
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COMMERCIAL SITE DEVELOPMENT PLAN

BRALEY ROAD
REETOWN, MASSACHUSETTS

ASSESSORS MAP 242, PARCEL 137

PREPARED FOR
MICHKEV RE, LLC

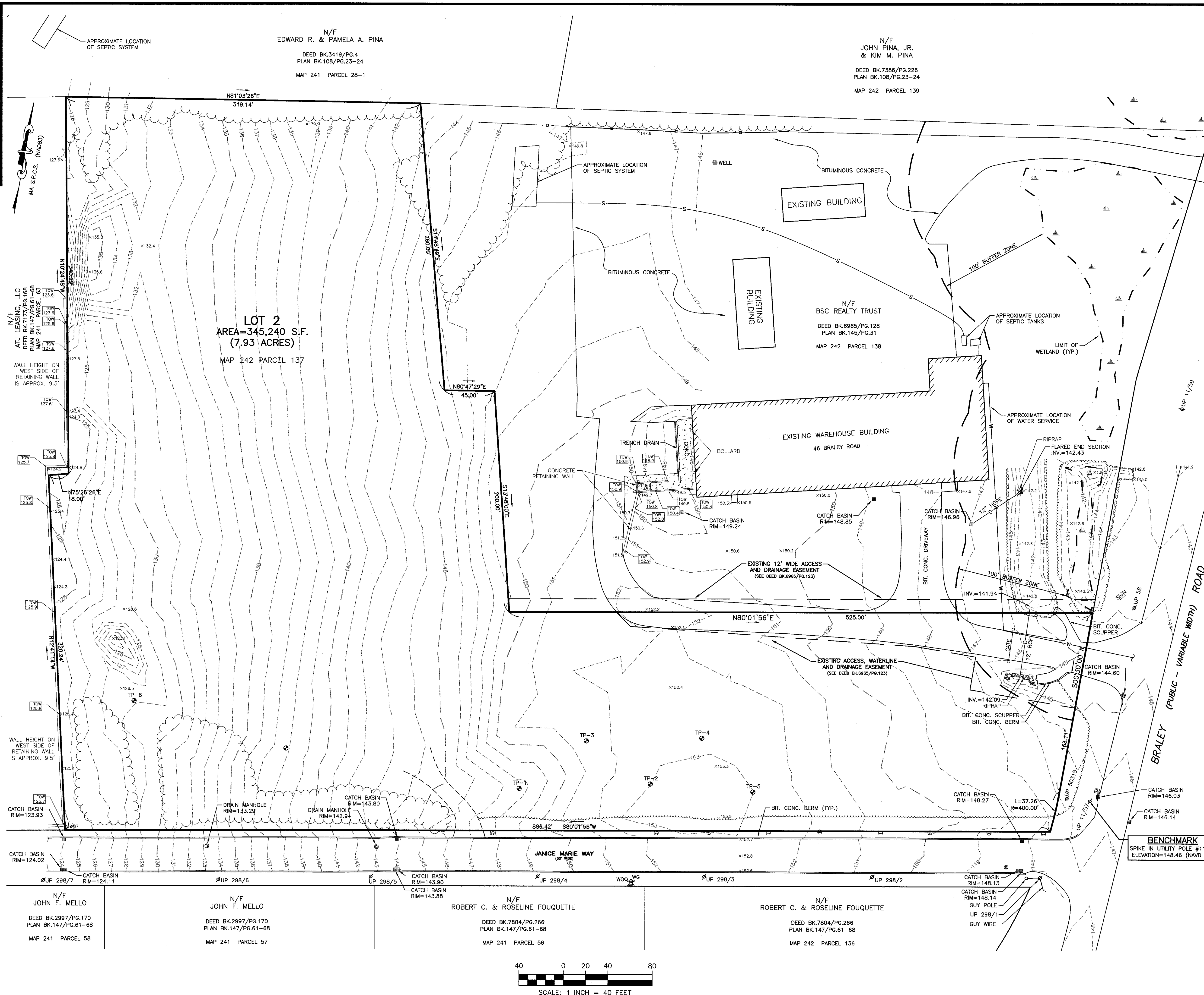
DRAWING TITLE:

EXISTING CONDITIONS

SCALE: 1" = 40'

SHEET NO.

2 OF 9



LOCUS

NOT TO SCALE

LEGEND

	PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	SPOT ELEVATION
	TOP OF WALL ELEVATION
	FENCE
	TREE LINE
	TREE
	BRUSH LINE
	WATER SERVICE
	WATER SHUTOFF
	HYDRANT
	CATCH BASIN
	DRAIN MANHOLE
	DRAIN PIPE
	UTILITY POLE
	MAIL BOX
	TEST PIT

CURRENT OWNER

MICHKEV RE, LLC
11 SMITH STREET
MIDDLEBORO, MA 02346

TITLE REFERENCE:

DEED BK.6965/PG.123

PLAN REFERENCES:

PLAN BK.145/PG.3
PLAN BK.63/PG.44

SITE LOCATION:

BRALEY ROAD
FREETOWN, MASSACHUSETTS

ASSESSORS REFERENCE:

MAP 242 PARCEL 137

INDUSTRIAL ZONING DISTRICT

REGULATION	REQUIREMENT
MIN. LOT AREA	70,000 SQ. FT.
LOT FRONTAGE	175'
FRONT SETBACK	50'
SIDE SETBACK	50'
REAR SETBACK	40'
MAX. BUILDING HEIGHT	40 FT.
MAX. LOT COVERAGE	80%

NOTES:

1. EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY SITE DESIGN ENGINEERING, LLC. ON MARCH 21-28, 2017.
2. ELEVATIONS ARE REFERENCED TO NAVD83.
3. THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE TOWN OF FREETOWN FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 250056 0288 F (EFFECTIVE DATE 7/7, 2009) AND FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 250056 0289 G (MAP REVISED JULY 16, 2015).
4. NO DOCUMENT AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON, THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
5. EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE NOT GUARANTEED. INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. SITE DESIGN ENGINEERING, LLC DOES NOT WARRANT THE ACCURACY OF UTILITIES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPERTY OWNER SHOULD CONSULT THE RELEVANT DEPARTMENT SHOULD BE CONSULTED.

40 0 20 40 80

SCALE: 1 INCH = 40 FEET

LEGEND

	PROPERTY LINE
	TOPOGRAPHIC CONTOUR
	SPOT ELEVATION
	TOP OF WALL ELEVATION
	FENCE
	TREE LINE
	TREE
	BRUSH LINE
	WATER SERVICE
	WATER SHUTOFF
	HYDRANT
	CATCH BASIN
	DRAIN MANHOLE
	DRAIN PIPE
	UTILITY POLE
	MAIL BOX
	TEST PIT

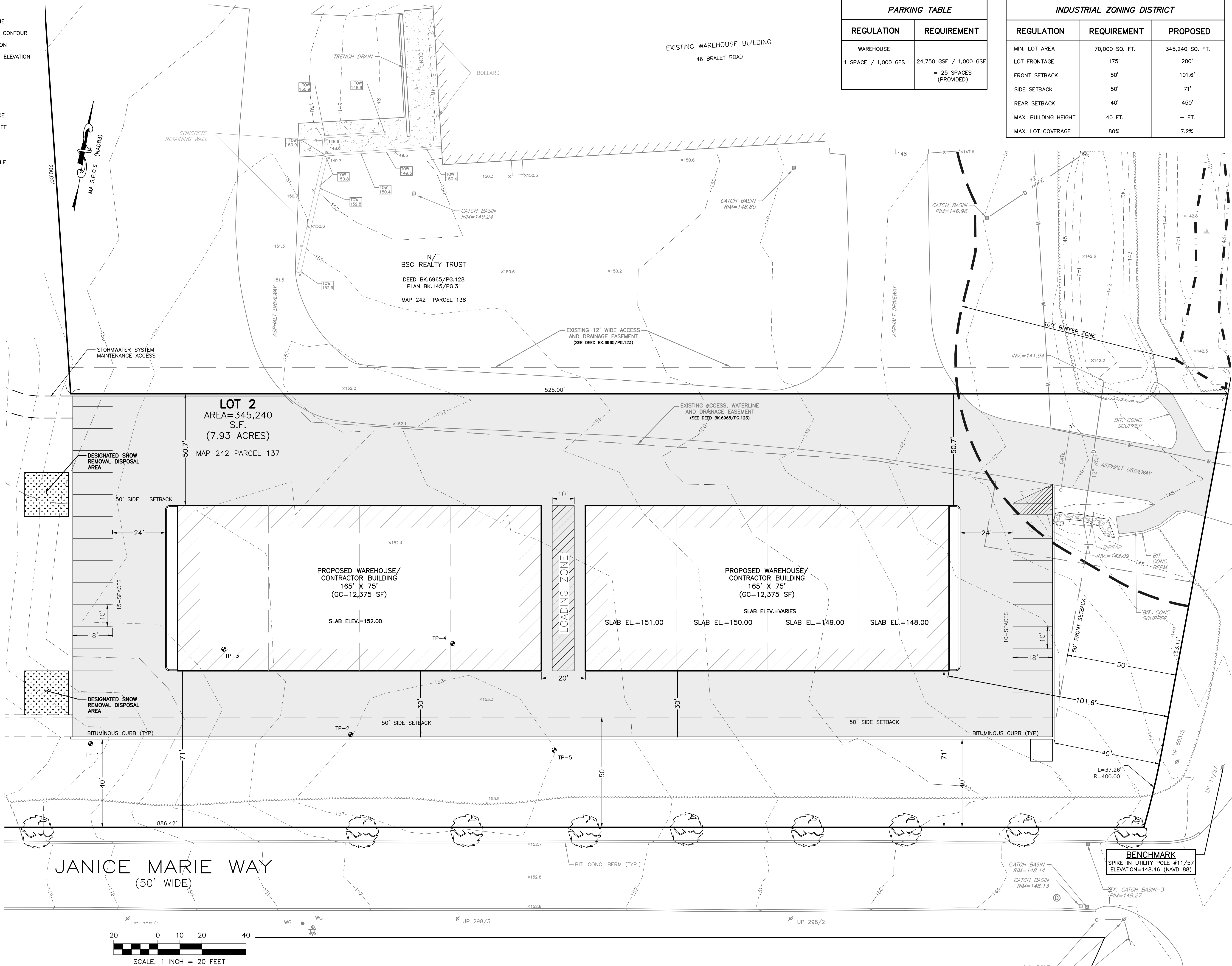
PARKING TABLE	
REGULATION	REQUIREMENT
WAREHOUSE	
1 SPACE / 1,000 GFS	24,750 GSF / 1,000 GSF = 25 SPACES (PROVIDED)

INDUSTRIAL ZONING DISTRICT		
REGULATION	REQUIREMENT	PROPOSED
MIN. LOT AREA	70,000 SQ. FT.	345,240 SQ. FT.
LOT FRONTAGE	175'	200'
FRONT SETBACK	50'	101.6'
SIDE SETBACK	50'	71'
REAR SETBACK	40'	450'
MAX. BUILDING HEIGHT	40 FT.	- FT.
MAX. LOT COVERAGE	80%	7.2%



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PLAN REVISIONS	
NO.	DATE
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REVISED PER TOWN PLANNING BOARD REVIEW COMMENTS	
DESCRIPTION	APPROVED

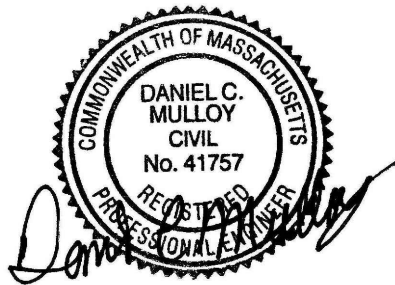
DATE: AUGUST 31, 2018

DRAWN BY: RLM / RT DESG. BY: RLM / RT CHECK BY: RLM/DCM

PROJECT NO. 16172

ISSUED FOR:

PERMITTING



COMMERCIAL SITE
DEVELOPMENT PLAN

BRALEY ROAD
FREETOWN, MASSACHUSETTS
ASSESSORS MAP 242, PARCEL 137
PREPARED FOR
MICKEY RE, LLC

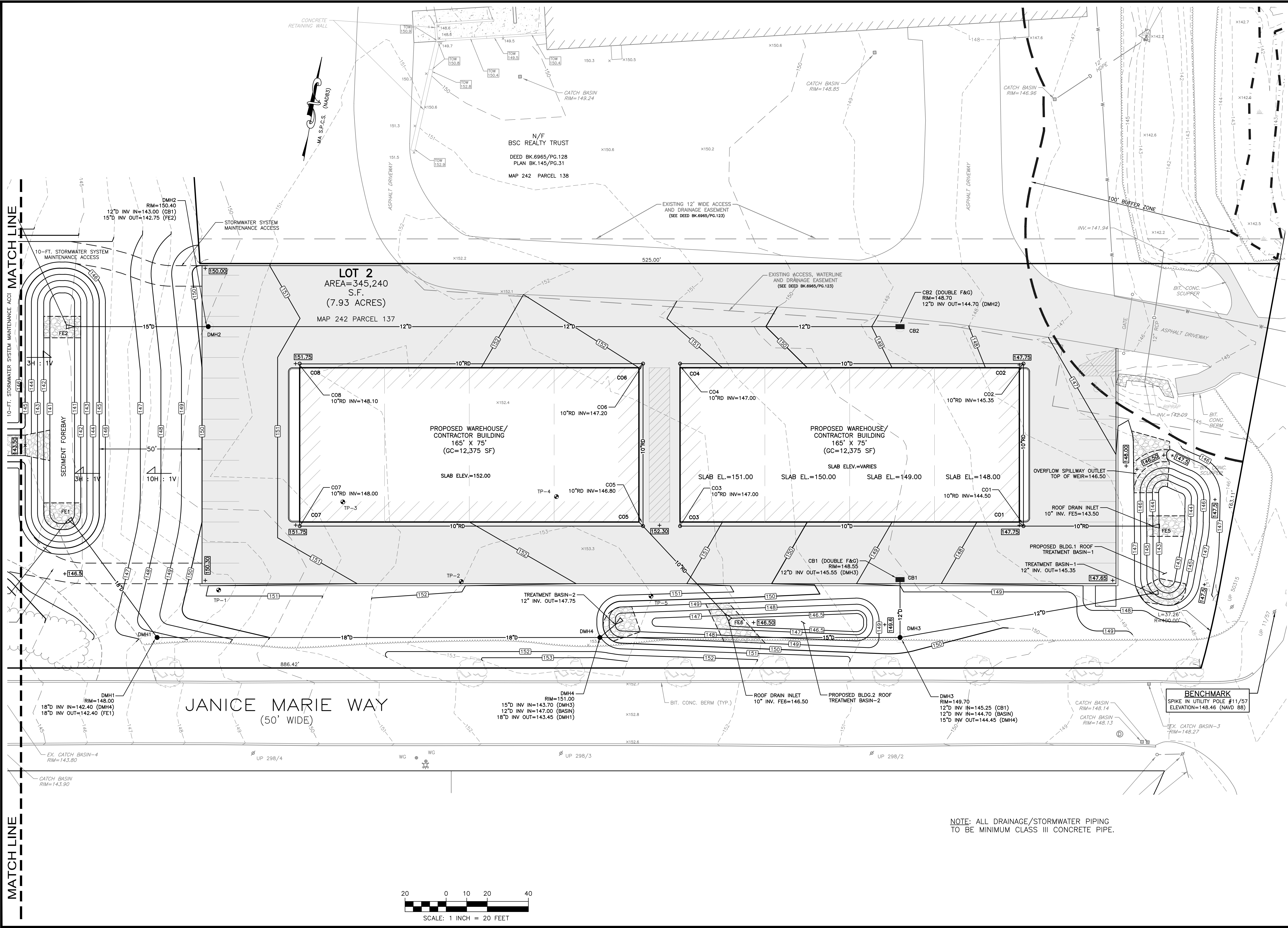
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SITE LAYOUT PLAN

SCALE: 1" = 20'

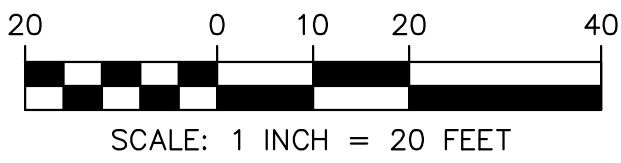
SHEET NO.

3 OF 9



MATCH LINE

NOTE: ALL DRAINAGE/STORMWATER PIPING TO BE MINIMUM CLASS III CONCRETE PIPE.



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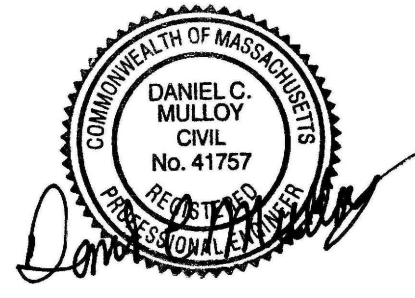
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PLAN REVISIONS

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COMMERCIAL SITE
DEVELOPMENT PLAN

PREPARED FOR
MICKEY RE, LLC
ASSESSORS MAP 242, PARCEL 137
FREETOWN, MASSACHUSETTS
BRALEY ROAD

DRAWING TITLE:
GRADING &
DRAINAGE PLAN

SCALE: 1" = 20'
SHEET NO.



**SITE DESIGN
ENGINEERING, LLC.**

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COMMERCIAL SITE DEVELOPMENT PLAN

BRALEY ROAD

FREETOWN, MASSACHUSETTS

ASSESSORS MAP 242, PARCEL 137

PREPARED FOR

MICKEY RE, LLC

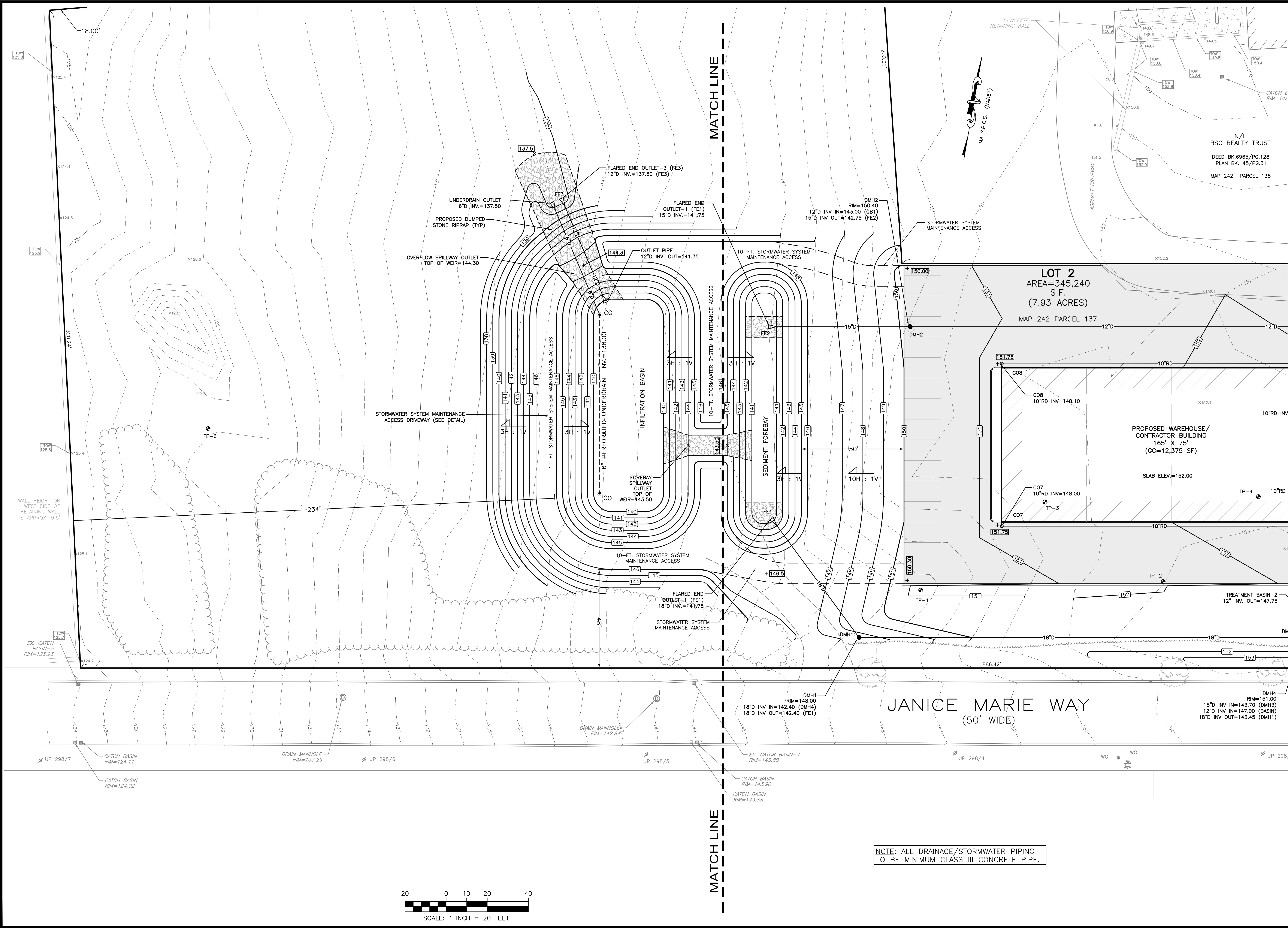
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**GRADING &
DRAINAGE PLAN**

SCALE: **1" = 20'**

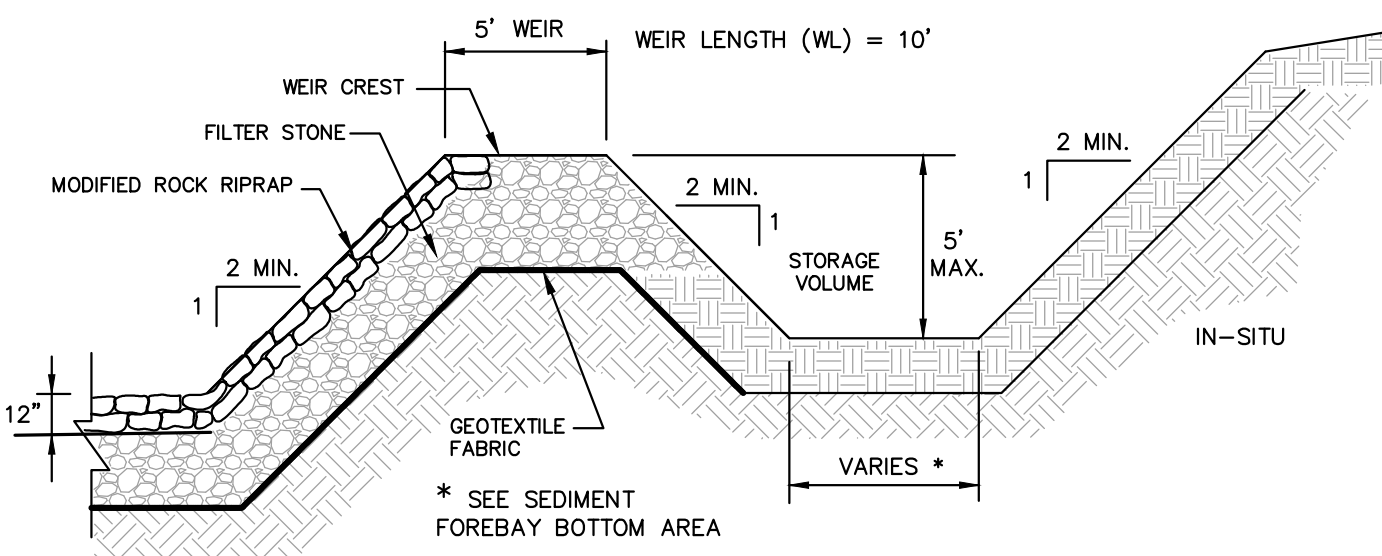
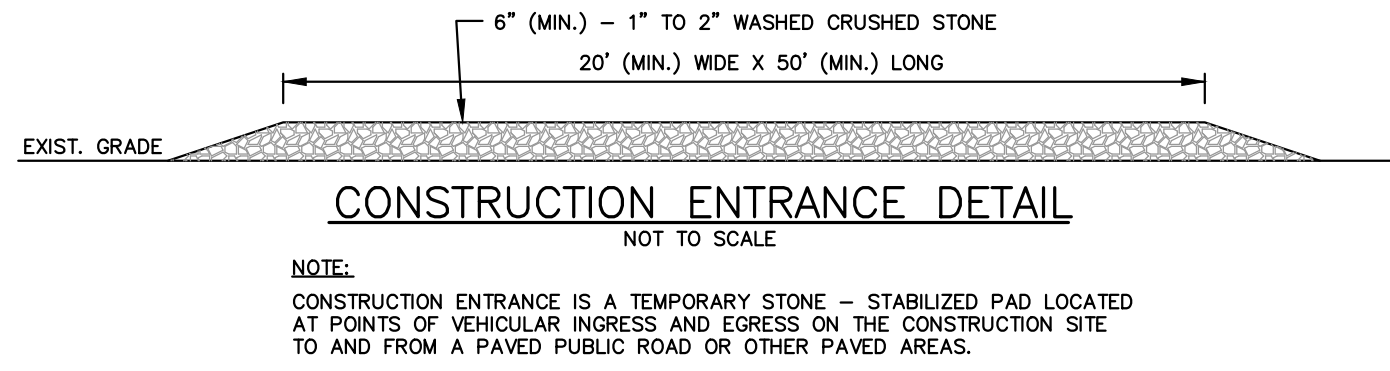
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5 OF 9



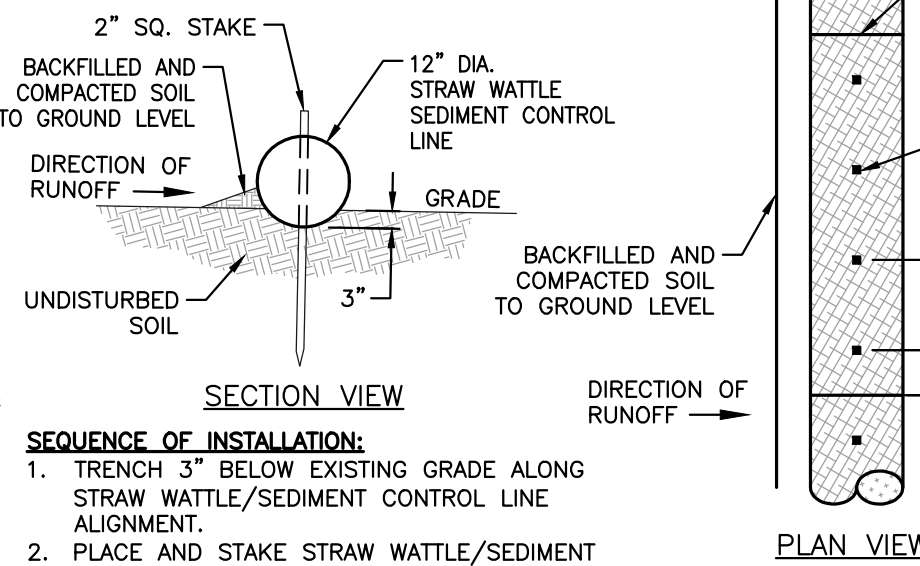
LEGEND

---	PROPERTY LINE
- - - 14.1	TOPOGRAPHIC CONTOUR
127.6x	SPOT ELEVATION
125.6	TOP OF WALL ELEVATION
---	FENCE
---	TREE LINE
---	TREE
---	BRUSH LINE
W	WATER SERVICE
WG	WATER SHUTOFF
---	HYDRANT
---	CATCH BASIN
---	DRAIN MANHOLE
---	DRAIN PIPE
UP #	UTILITY POLE
---	MAIL BOX
---	TEST PIT



TEMPORARY SEDIMENT TRAP SIZING:

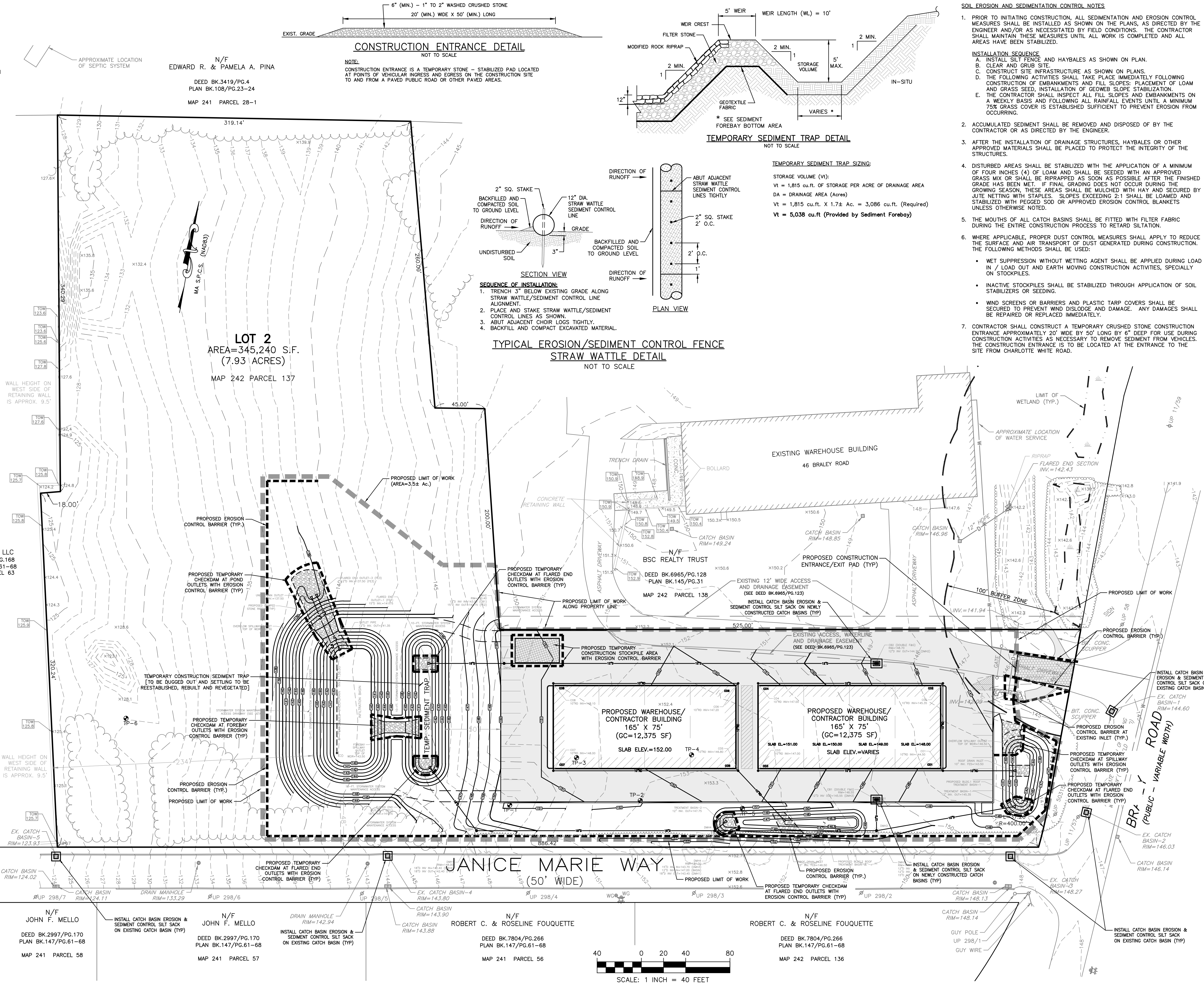
TEMPORARY VOLUME (V1):
 $V1 = 1,815 \text{ cu.ft. OF STORAGE PER ACRE OF DRAINAGE AREA}$
 $DA = \text{DRAINAGE AREA (Acres)}$
 $V1 = 1,815 \text{ cu.ft.} \times 1.7 \pm \text{Ac.} = 3,086 \text{ cu.ft. (Required)}$
 $V1 = 5,038 \text{ cu.ft. (Provided by Sediment Forebay)}$



- SEQUENCE OF INSTALLATION:**
1. TRENCH 3" BELOW EXISTING GRADE ALONG STRAW WATTLE/SEDIMENT CONTROL LINE ALIGNMENT.
 2. PLACE AND STAKE STRAW WATTLE/SEDIMENT CONTROL LINES AS SHOWN.
 3. ABUT ADJACENT CHAIR LOGS TIGHTLY.
 4. BACKFILL AND COMPACT EXCAVATED MATERIAL.

TYPICAL EROSION/SEDIMENT CONTROL FENCE STRAW WATTLE DETAIL

NOT TO SCALE



SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AS DIRECTED BY THE ENGINEER AND/OR AS NECESSITATED BY FIELD CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.
3. AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, HAYBALES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.
4. DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEED WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOD OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.
5. THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS TO RETARD SILTATION.
6. WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
 - WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
 - INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
 - WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLODGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
7. CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY 20' WIDE BY 60' LONG BY 6" DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCE IS TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM CHARLOTTE WHITE ROAD.



**SITE DESIGN
ENGINEERING, LLC.**
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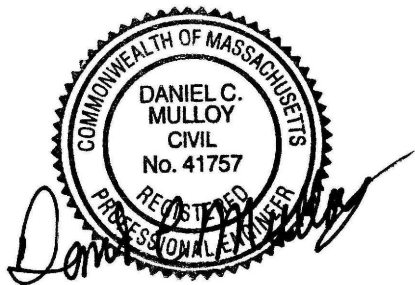
PLAN REVISIONS

DATE: AUGUST 31, 2018
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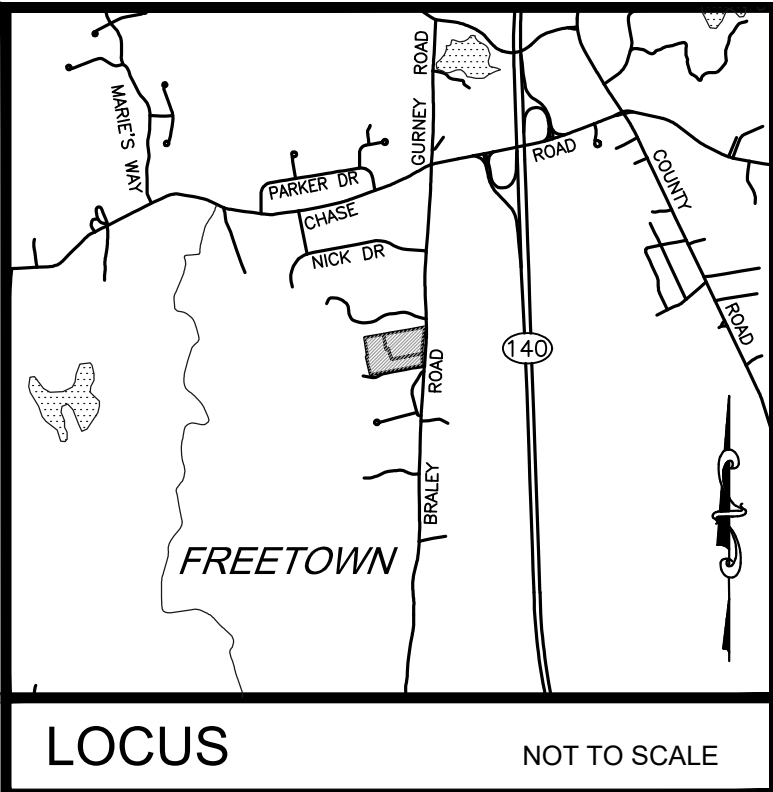


COMMERCIAL SITE DEVELOPMENT PLAN

PREPARED FOR
 MICKEY RE, LLC
 ASSESSORS MAP 242, PARCEL 137
 BRALEY ROAD
 FREETOWN, MASSACHUSETTS

DRAWING TITLE: EROSION CONTROL PLAN

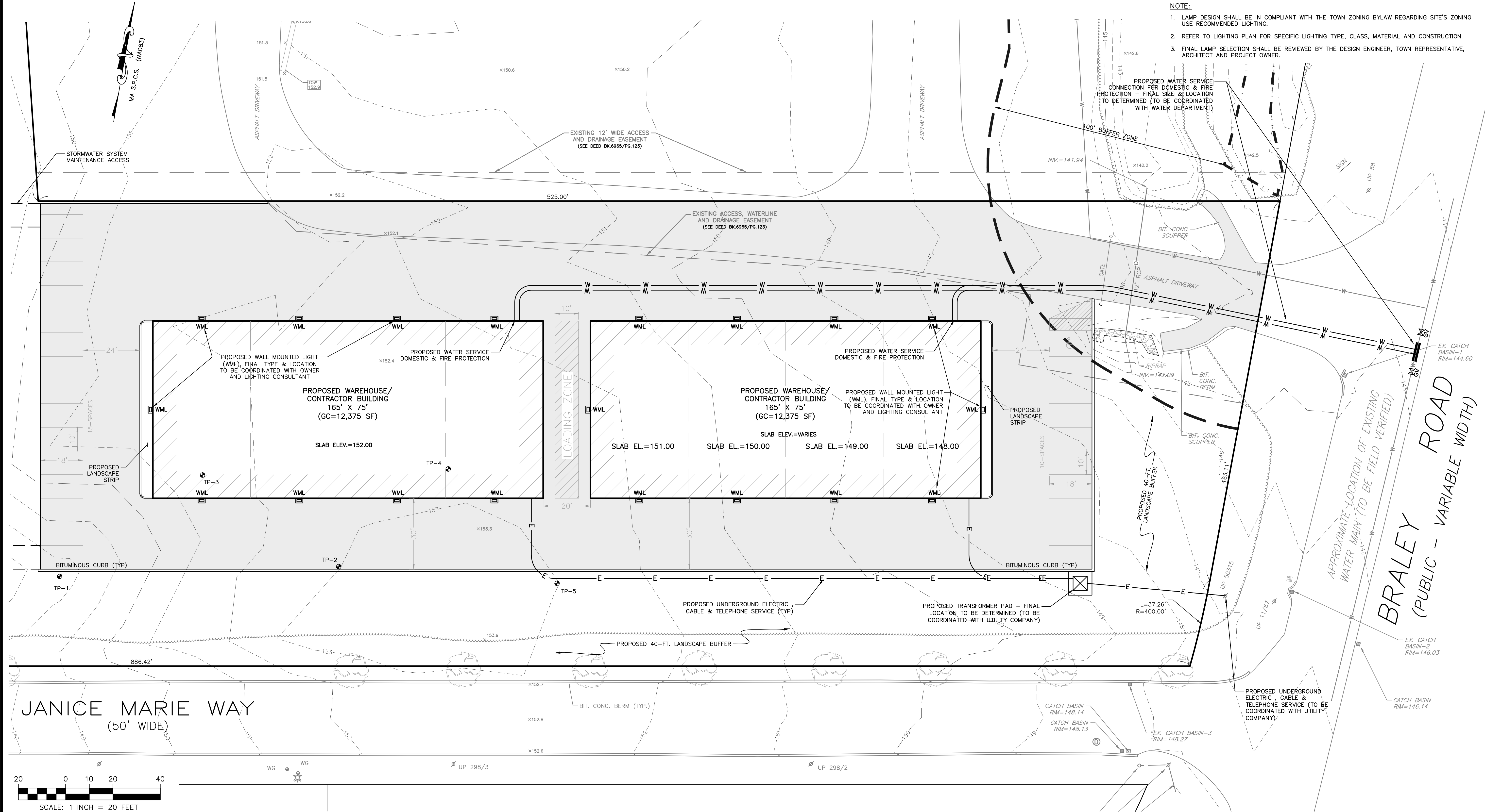
SCALE: 1" = 40'
 SHEET NO.



LOCUS NOT TO SCALE

LEGEND

- PROPERTY LINE
- TOPOGRAPHIC CONTOUR
- SPOT ELEVATION
- TOP OF WALL ELEVATION
- FENCE
- TREE LINE
- TREE
- BRUSH LINE
- WATER SERVICE
- WATER SHUTOFF
- HYDRANT
- CATCH BASIN
- DRAIN MANHOLE
- DRAIN PIPE
- UTILITY POLE
- MAIL BOX
- TEST PIT



Maximum Weight - 28 Lbs.

INFRASTRUCTURE OUTDOOR

Wallpack® IV
GLASS LED

- NOTE:
- LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN ZONING BYLAW REGARDING SITE'S ZONING USE RECOMMENDED LIGHTING.
 - REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL AND CONSTRUCTION.
 - FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.

PROPOSED WATER SERVICE CONNECTION FOR DOMESTIC & FIRE PROTECTION - FINAL SIZE & LOCATION TO BE DETERMINED (TO BE COORDINATED WITH WATER DEPARTMENT)

SITE DESIGN ENGINEERING, LLC.
11 CUSHMAN STREET
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COMMERCIAL SITE DEVELOPMENT PLAN

BRALEY ROAD
FREETOWN, MASSACHUSETTS
ASSESSORS MAP 242, PARCEL 137

PREPARED FOR
MICKEY RE, LLC

DRAWING TITLE:

UTILITY, LIGHTING & LANDSCAPE PLAN

SCALE: 1" = 20'

SHEET NO.

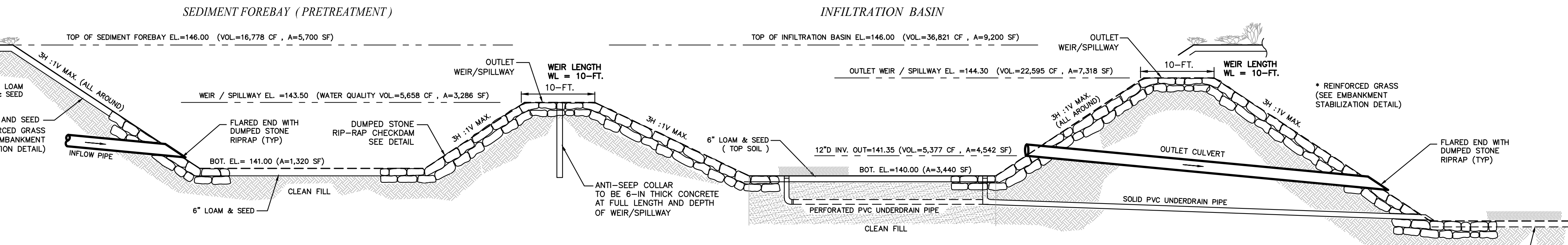
7 OF 9

CONSTRUCTION NOTES:

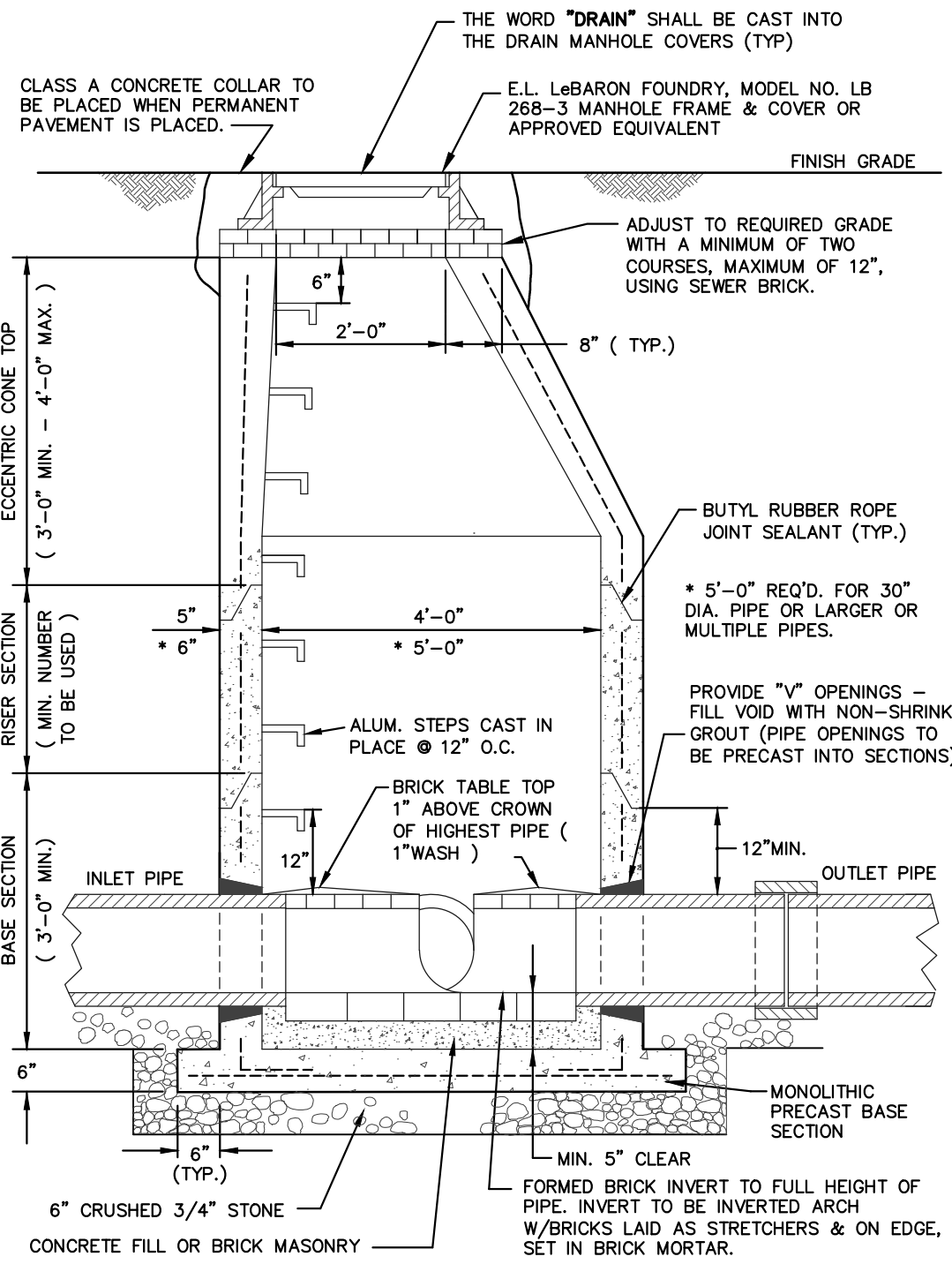
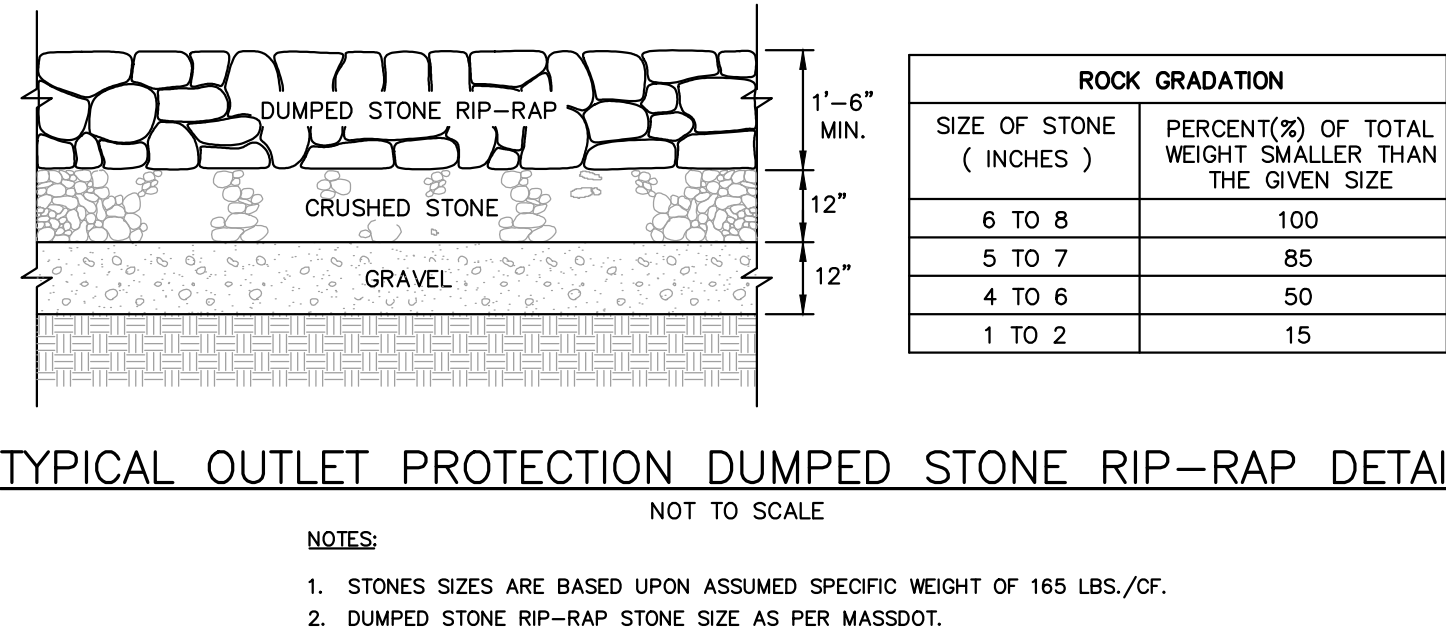
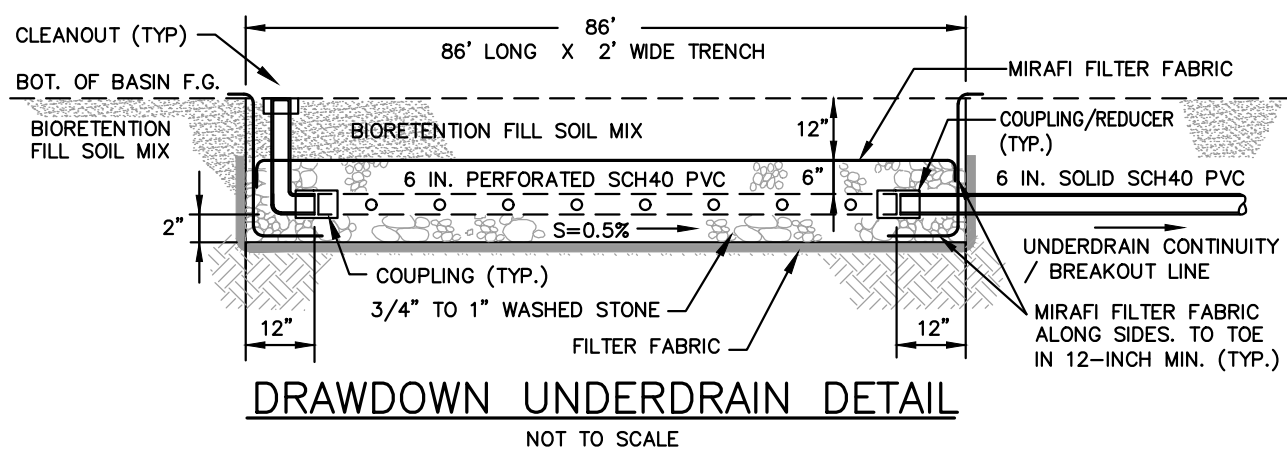
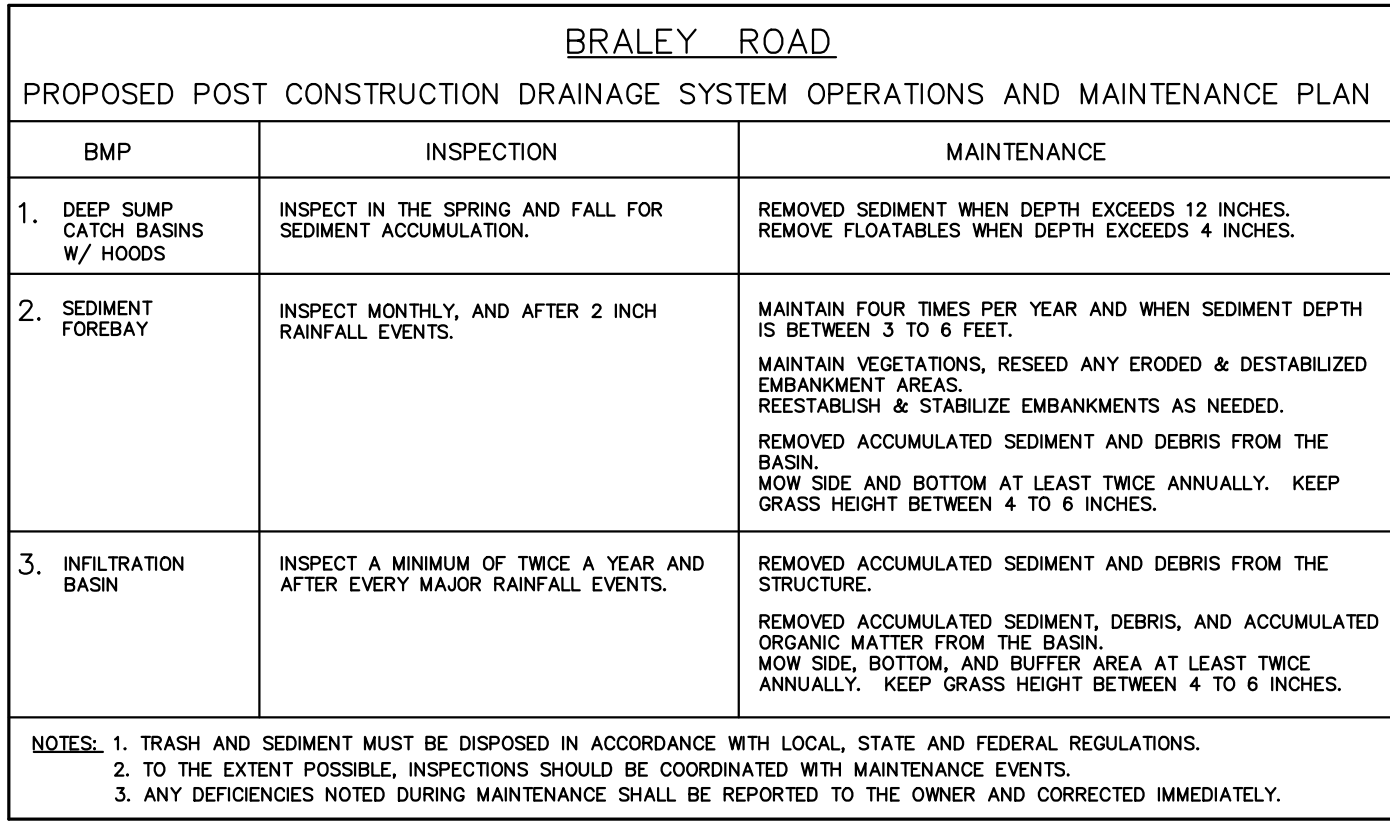
1. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT DIG SAFE (1-888-344-7233) 72 HOURS BEFORE DIGGING.
2. ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
3. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITIONS OF THE **TOWN OF FREETOWN** STANDARD SPECIFICATIONS, PLANNING BOARD RULES AND REGULATIONS, THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (MDPW) CONSTRUCTION STANDARDS, AND THE MDPW STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, UNLESS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR THE ENGINEER. ALL MATERIALS AND WORK NOT MEETING THESE SPECIFICATIONS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AT THE FULL EXPENSE OF THE CONTRACTOR.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE **TOWN OF FREETOWN** HIGHWAY & UTILITY DEPARTMENTS.
5. THE APPLICANT WILL HAVE TO APPLY FOR A BUILDING PERMITS WITH THE DEPARTMENT OF INSPECTIONAL SERVICE PRIOR TO ANY CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICE, AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW; BACKFILLING SHALL ONLY TAKE PLACE WHEN THE TOWN'S INSPECTOR HAS GIVEN THEIR APPROVAL.
7. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, SIDEWALK CROSSING, AND UTILITIES CONNECTING PERMITS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.
8. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED BY THE OWNER.
9. THE WATER SUPPLY SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE **TOWN OF FREETOWN** WATER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR). UNLESS DIRECTED OTHERWISE, ALL WATER PIPES SHALL BE INSTALLED 5' - 0" BELOW GRADE. APPROPRIATE THRUST BLOCKING SHALL BE INSTALLED.
10. THE SANITARY SEWER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE **TOWN OF FREETOWN** SEWER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR).
11. ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION UTILITY CONNECTIONS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
12. THE CONTRACTOR SHALL CONTACT THE LOCAL ELECTRIC COMPANY FOR CONSTRUCTION SPECIFICATIONS, STANDARDS AND RESPONSIBILITIES.
13. ALL DRAINAGE PIPES ARE TO BE CLASS-3 REINFORCED CONCRETE PIPE.
14. THE REMOVAL OR EVIDENCE OF EXISTING UNDERGROUND OIL OR FUEL TANKS THE **TOWN OF FREETOWN** FIRE DEPARTMENT AND BOARD OF HEALTH SHALL BE INFORMED AND NOTIFIED.
15. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
16. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.
17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO RECORD IN NOTE FORM (PREFERABLY IN A SURVEY FIELD NOTEBOOK) THE LOCATION OF ALL UTILITIES INSTALLED WHEN SURVEYORS ARE NOT AT JOB SITE. THESE NOTES WILL BE UTILIZED FOR THE PREPARATION OF REQUIRED AS-BUILT PLANS.
18. THE CONTRACTOR(S) SHALL NOTIFY THE DESIGN ENGINEER AND OR SURVEYOR FOR PROPER LOCATION OF PROPOSED UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
19. THE CONTRACTOR MUST PRESERVE ALL GRADE STAKES SET BY SURVEYORS.
20. ALL TREE REMOVAL SHALL COMPLY WITH THE **TOWN OF FREETOWN** TREE ORDINANCE.
21. THE STORMWATER MANAGEMENT SYSTEM OPERATIONS AND MAINTENANCE PLAN UPON ADOPTION BY THE APPLICANT AND OWNER MUST BE INCORPORATED IN THE DEEDS AND RECORDED AT THE BRISTOL REGISTRY OF DEEDS. A COPY OF THE RECORDING INSTRUMENT SHALL BE SUBMITTED TO THE ENGINEERING DIVISION.
22. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND IN HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND FINAL GRADING.
23. ALL SITE WORK BEING COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
24. THE CONTRACTOR SHALL GIVE SEVEN (7) DAYS' NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING WORK IN THE FIELD.

STORMWATER FACILITY OPERATION AND MAINTENANCE

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES UNTIL SUCH TIME AS THE ROADWAYS AND ASSOCIATED UTILITIES ARE ACCEPTED BY THE OWNER.
2. ALL STORMWATER FACILITIES SHOULD BE INSPECTED AFTER EVERY MAJOR RAINFALL EVENT FOR THE FIRST 3 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL INSPECT AND CLEAN ALL FACILITIES OF SEDIMENT AND DEBRIS PRIOR TO THE OWNER'S ACCEPTANCE.
4. ACCUMULATED SILT AND SEDIMENT SHOULD BE REMOVED FROM ALL FACILITIES AT LEAST ONCE A YEAR OR MORE FREQUENTLY IF ACCUMULATED DEPTH OF SEDIMENT EXCEEDS THREE INCHES.
5. ALL REMOVED SEDIMENTS ARE TO BE PROPERLY DISPOSED AT A LOCATION TO BE APPROVED BY THE BOARD OF HEALTH. TRANSPORTATION AND DISPOSAL OF SEDIMENTS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
6. ANY DEFICIENCIES NOTED DURING MAINTENANCE SHALL BE REPORTED TO THE OWNER AND CORRECTED IMMEDIATELY.
7. CONNECTION TO THE MUNICIPAL DRAINAGE SYSTEM REQUIRES A CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION AND WITNESSED BY THE ENGINEERING DIVISION PRIOR TO APPROVAL OF THE BUILDING PERMIT. POST-CONSTRUCTION CCTV INSPECTION SHALL ALSO BE PERFORMED AND WITNESSED.
8. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.
9. THE STORMWATER MANAGEMENT SYSTEM OPERATIONS AND MAINTENANCE PLAN UPON ADOPTION BY THE APPLICANT AND OWNER MUST BE INCORPORATED IN THE DEEDS AND RECORDED AT THE BRISTOL REGISTRY OF DEEDS. A COPY OF THE RECORDING INSTRUMENT SHALL BE SUBMITTED TO THE ENGINEERING DIVISION.

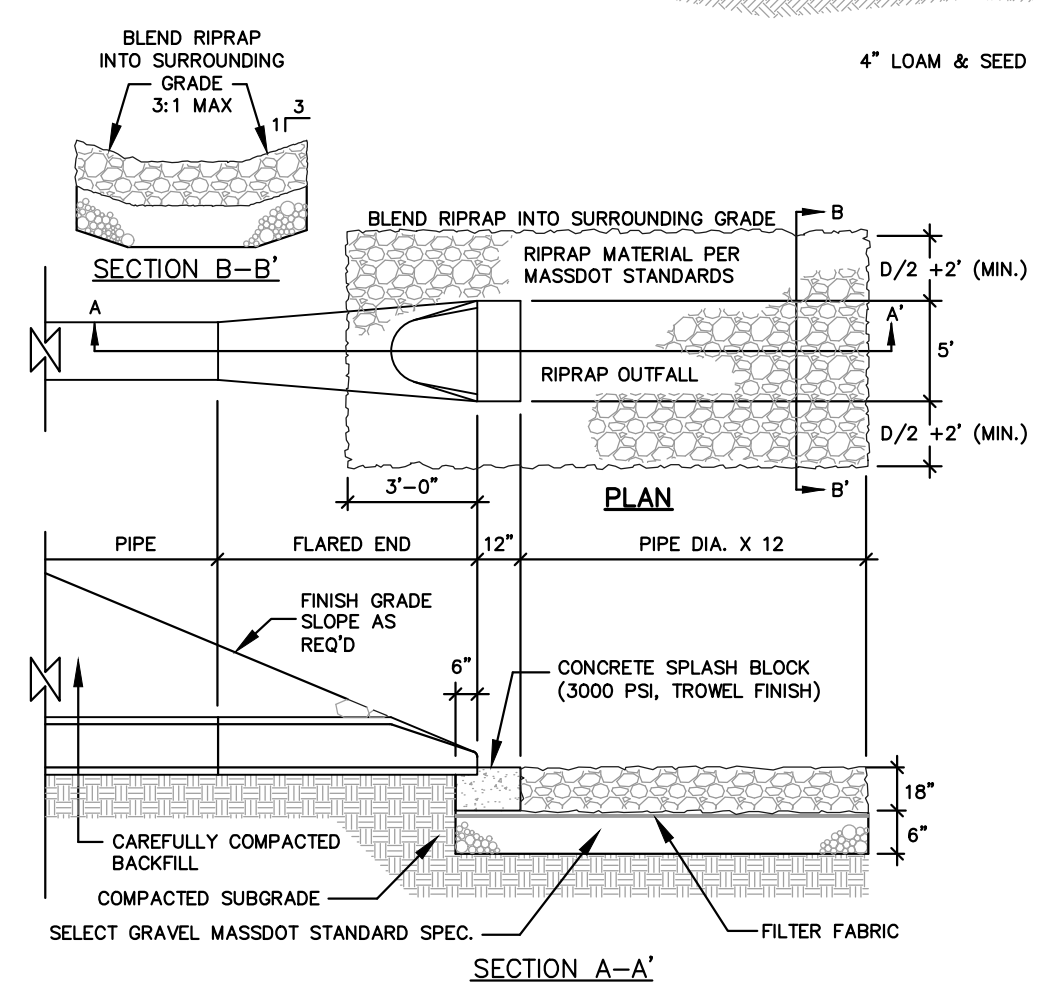


STORMWATER STORAGE & RECHARGE SYSTEM DETAIL
SEDIMENT FOREBAY-1 & INFILTRATION BASIN
NOT TO SCALE



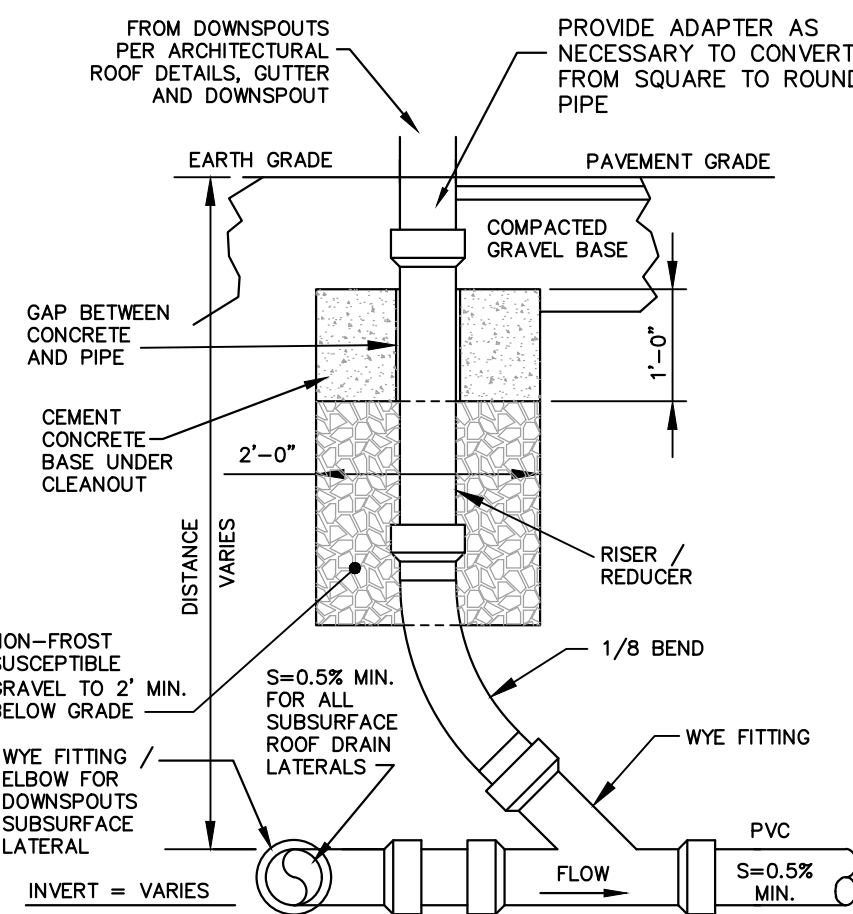
PRECAST CONCRETE DMH DETAIL
NOT TO SCALE

- NOTES:
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
2. USE FLAT TOP H20 LOADING SLAB WHEN HEIGHT OF CONE SECTION IS LESS THAN 2'-0\"/>

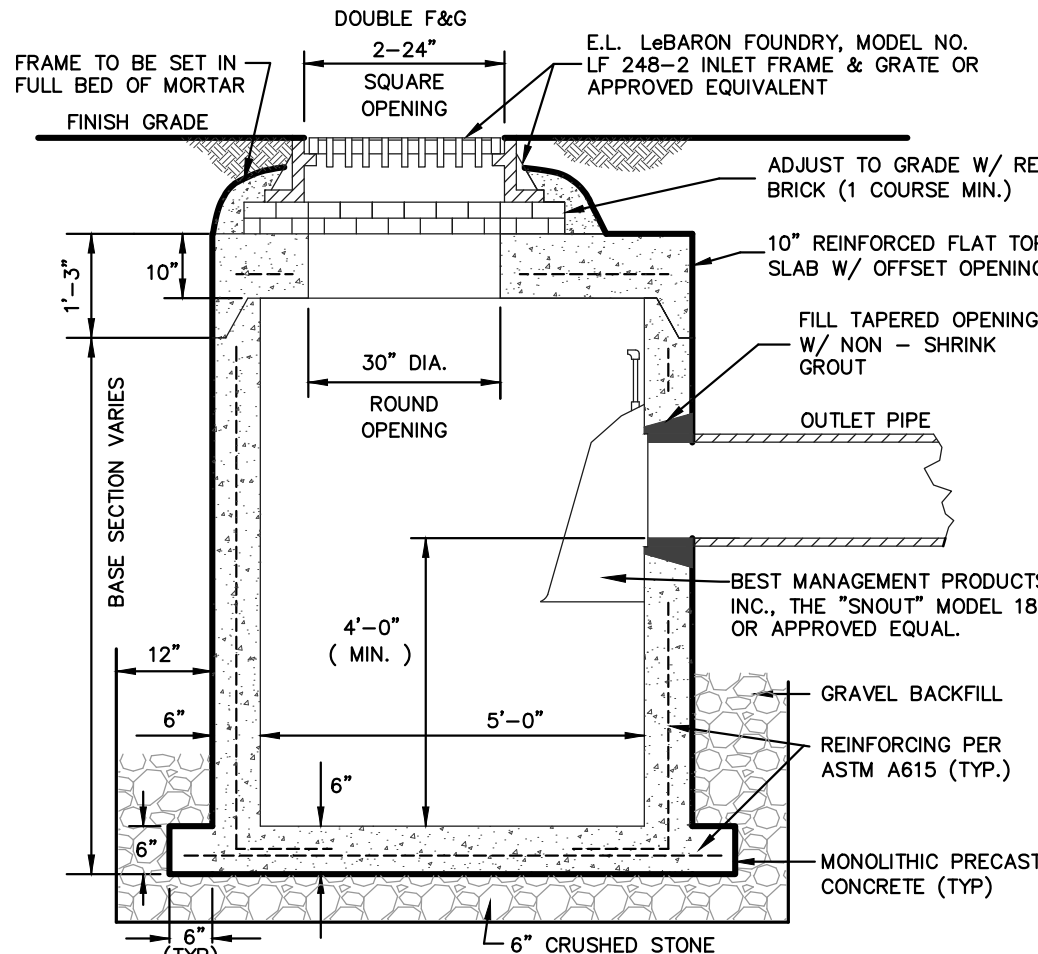


FLARED END AND RIPRAP AT ALL PIPE ENDS
NOT TO SCALE

1. RIP RAP SHALL CONFORM TO MASSACHUSETTS D.O.T. STANDARD SPECIFICATIONS.



DOWNSPOUT CONNECTION
& ROOF DRAIN DETAIL
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
DOUBLE FRAME & GRATE
NOT TO SCALE

- NOTES:
1. PRECAST REINFORCED CONCRETE DESIGN SHALL BE CERTIFIED FOR H-20 LOADING.
2. FILL OUTSIDE FACE OF ALL MANHOLE JOINTS WITH NON-SHRINK MORTAR.
3. ALL JOINTS TO HAVE \"KENT SEAL\" OR EQUAL.



SITE DESIGN
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NO.	DATE	DESCRIPTION	REVIEW	COMMENTS	APPROVED
1	4/15/2021	REVISED PER TOWN PLANNING BOARD			

PLAN REVISIONS

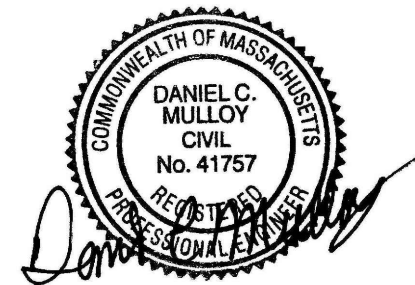
DATE: AUGUST 31, 2018

DRAWN BY: RLM / RT DESG. BY: RLM / RT CHECK BY: RLM / DCM

PROJECT NO. 16172

ISSUED FOR:

PERMITTING



COMMERCIAL SITE
DEVELOPMENT PLAN

BRALEY ROAD
FREETOWN, MASSACHUSETTS
ASSESSORS MAP 242, PARCEL 137
PREPARED FOR
MICKEY RE, LLC

DRAWING TITLE:

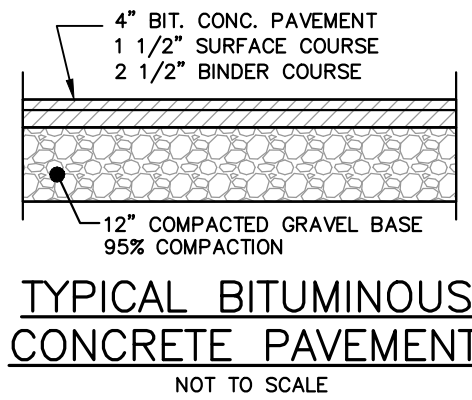
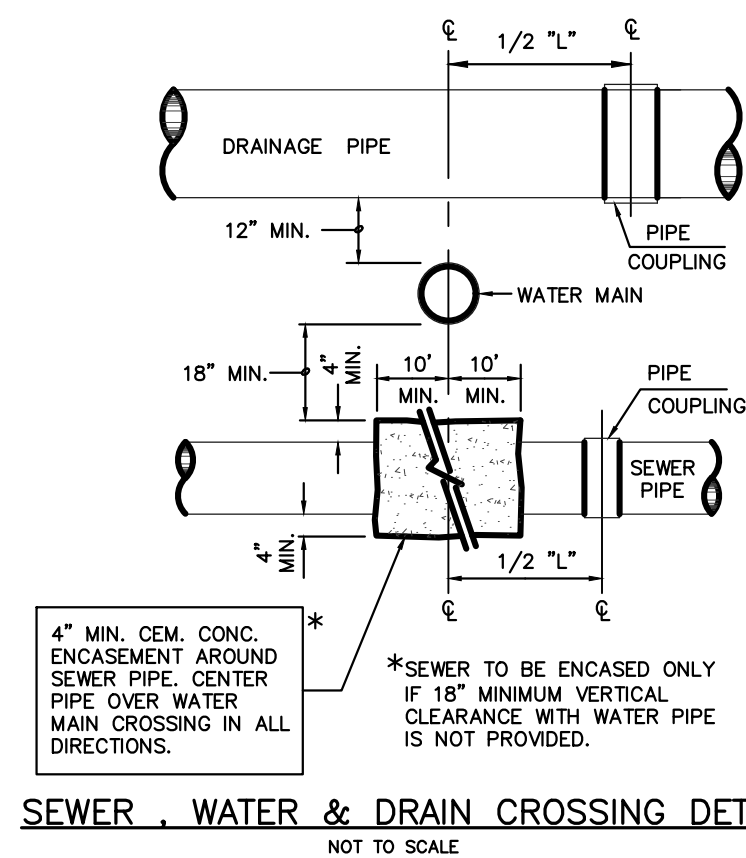
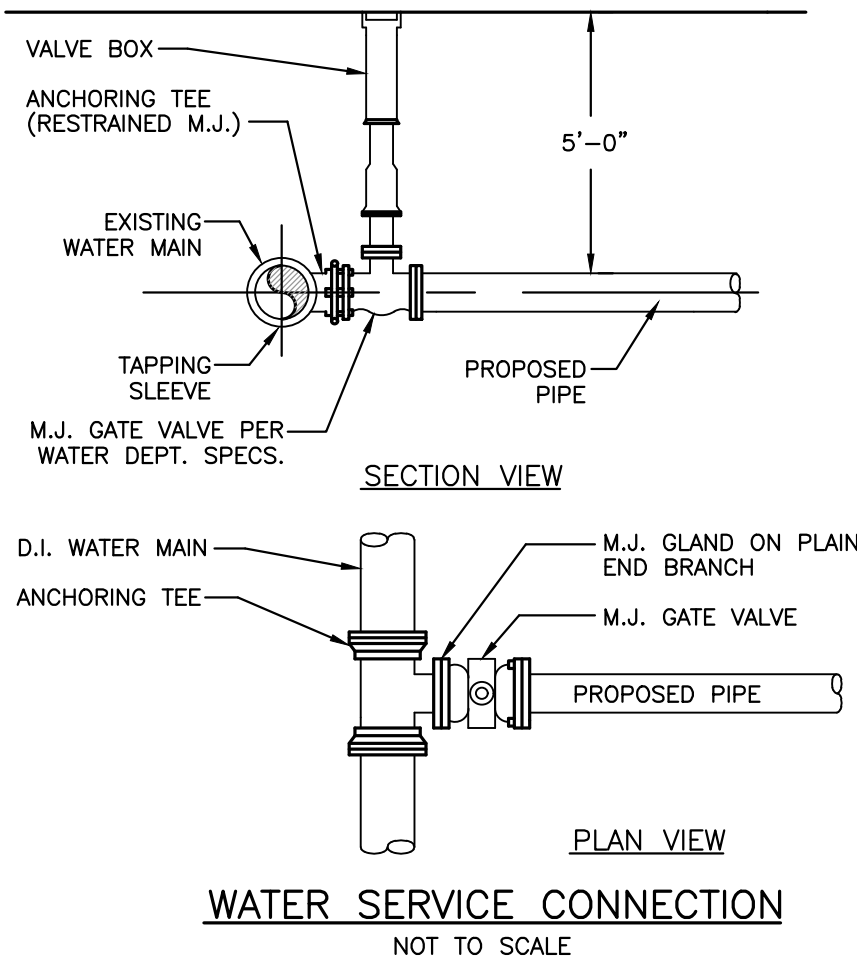
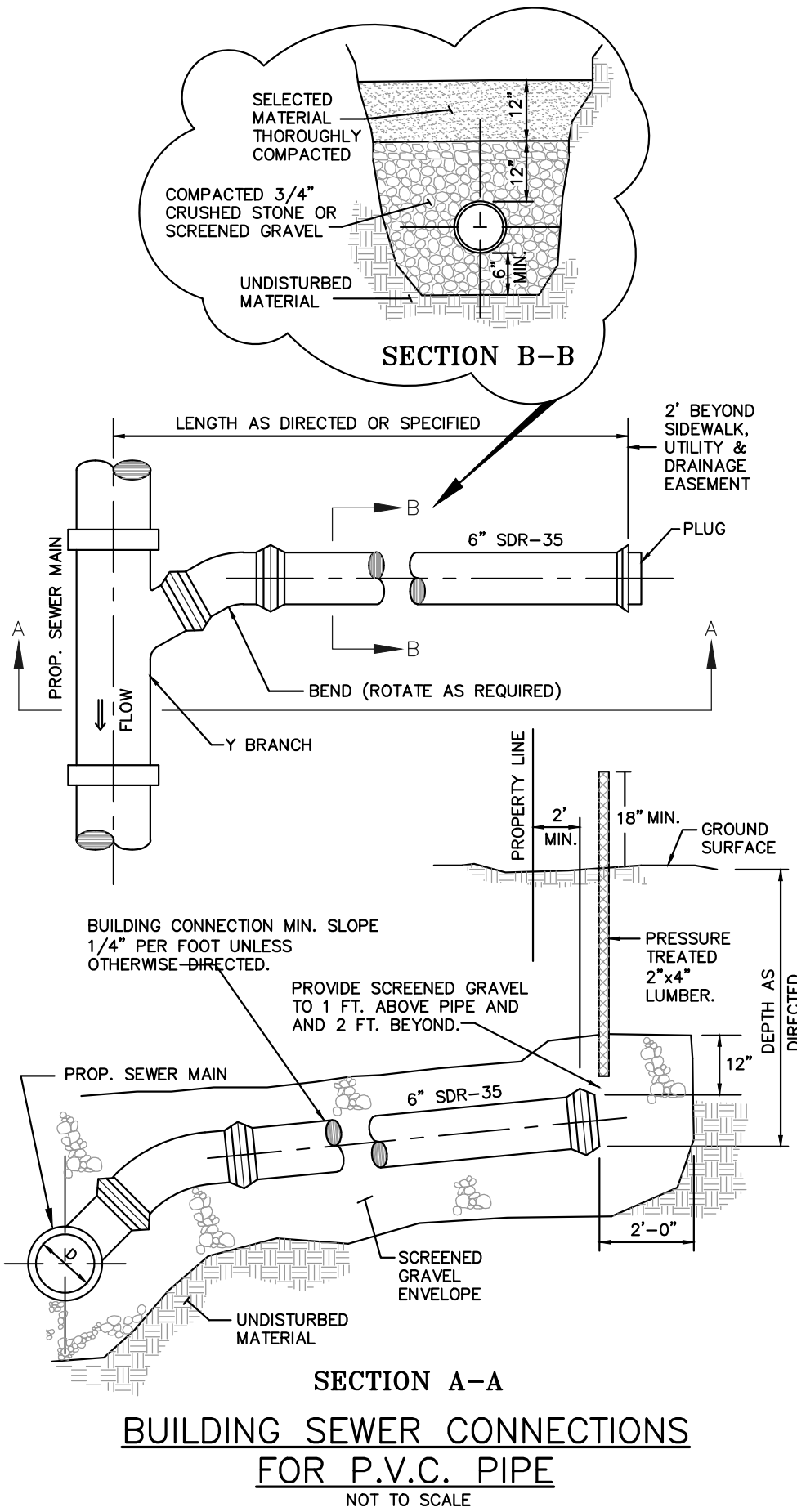
CONSTRUCTION
DETAILS

SCALE: NOT TO SCALE

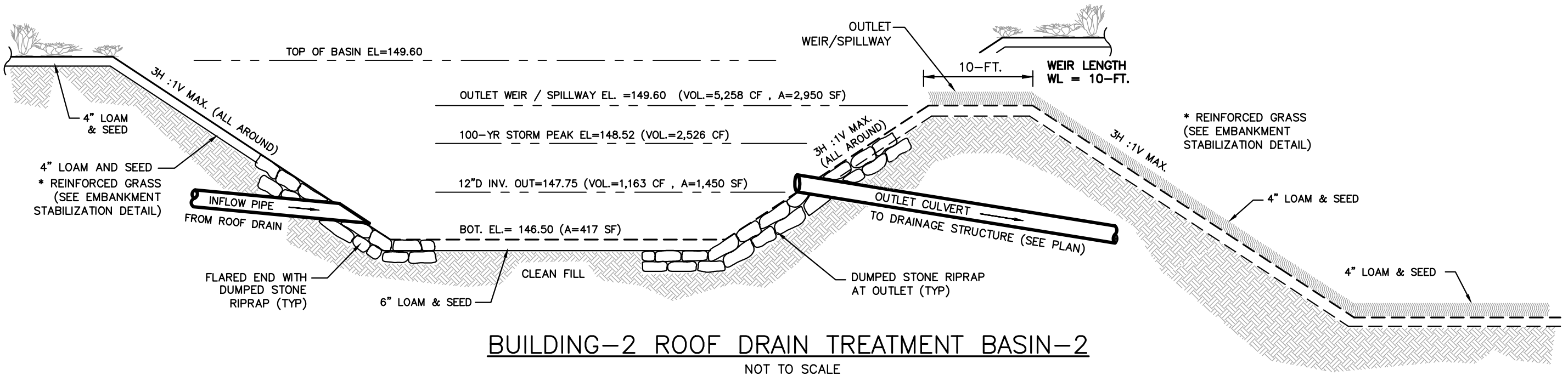
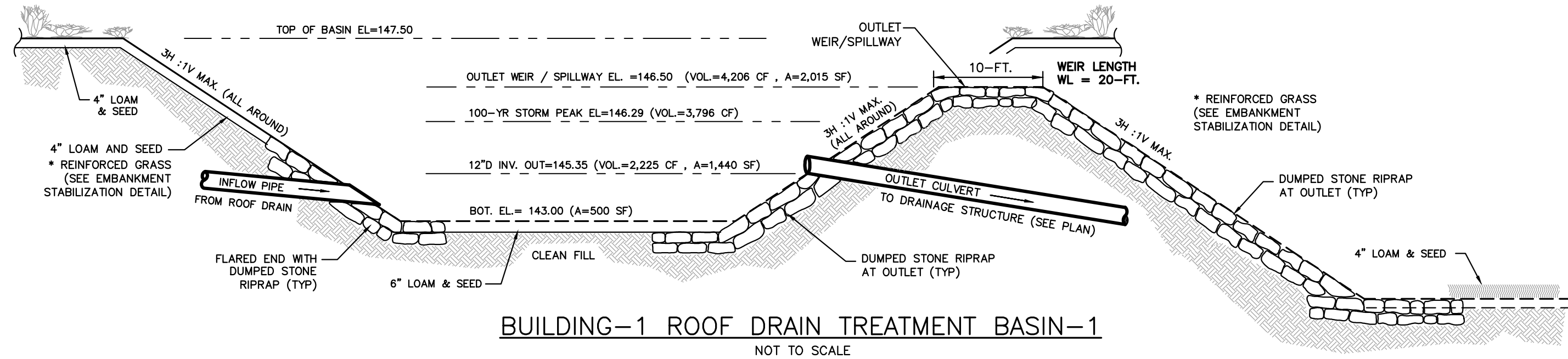
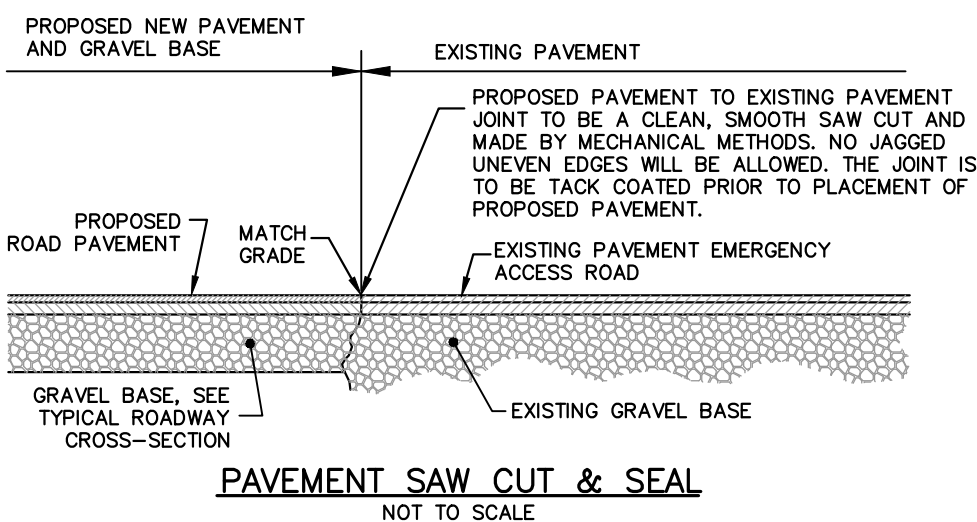
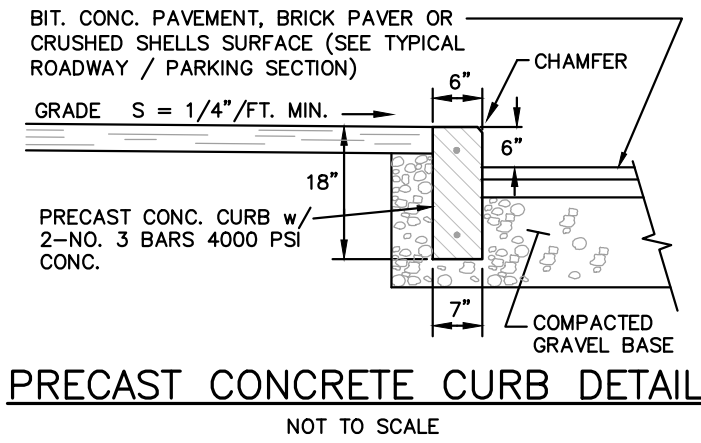
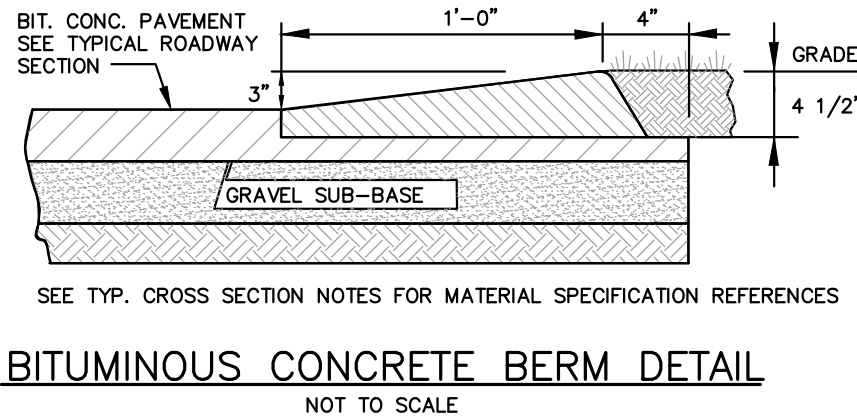
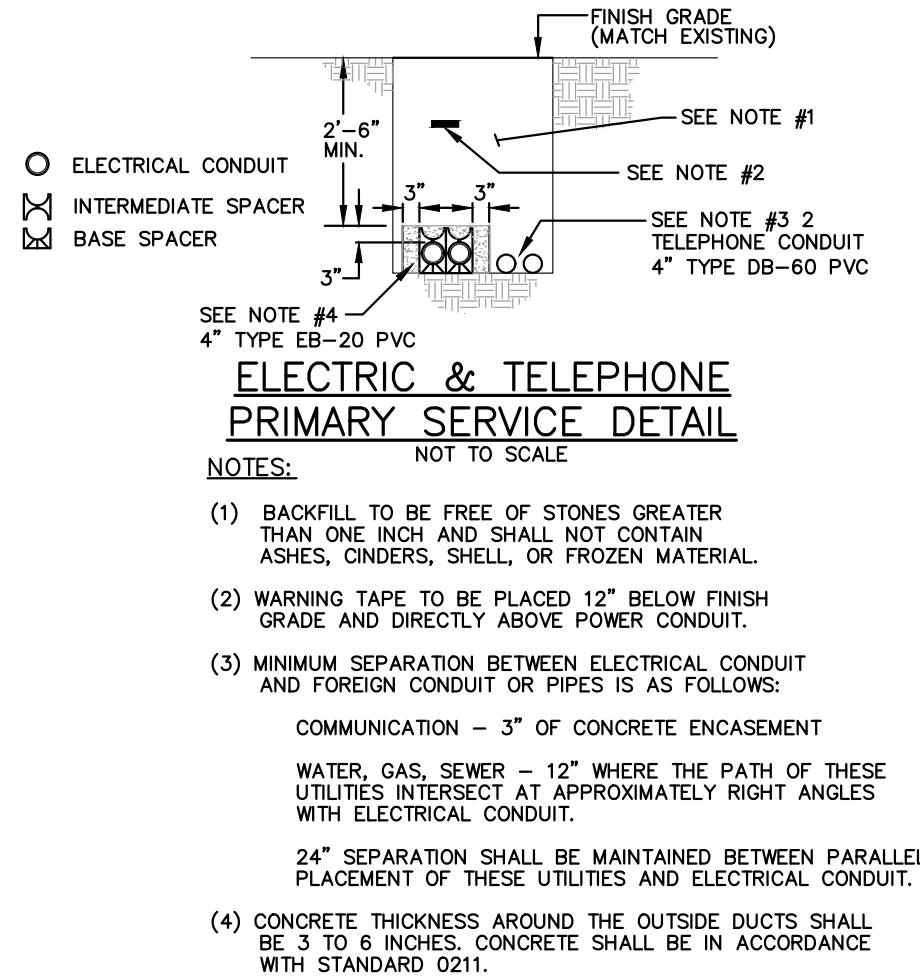
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WATER CONNECTION CONSTRUCTION NOTES

1. THE WATER SUPPLY SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN OF FREETOWN WATER DEPARTMENT. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH APPLICABLE PERMITS (TO BE OBTAINED BY THE CONTRACTOR), UNLESS OTHERWISE DIRECTED, ALL WATER PIPES SHALL BE INSTALLED 5'-0" BELOW GRADE. APPROPRIATE THRUST BLOCKING SHALL BE INSTALLED.
2. THE CONTRACTOR SHALL MAINTAIN CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER EXISTING UTILITIES OF AT LEAST (12) TWELVE INCHES OR AS DETERMINED BY THE TOWN'S WATER DEPARTMENT IN THE FIELD.
3. ALL CONSTRUCTION METHODS AND MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHALL RECEIVE THE WRITTEN APPROVAL OF THE TOWN OF FREETOWN WATER DEPARTMENT AND THE PROJECT ENGINEER PRIOR TO FABRICATION AND INSTALLATION.
4. ALL COMPLETED SECTIONS OF THE PROPOSED SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH THE TOWN OF FREETOWN WATER DEPARTMENT SPECIFICATIONS. ANY PORTION OF THE WORK NOT MEETING THE REQUIRED TESTING STANDARDS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
5. FIRE FLOW TESTING IS REQUIRED FOR THE PROPOSED FIRE SUPPRESSION SYSTEM. TEST MUST BE COORDINATED WITH THE TOWN OF FREETOWN FIRE DEPARTMENT AND UTILITIES DIVISION. REPRESENTATIVES OF EACH DEPARTMENT SHALL WITNESS AND TEST RESULTS AND A WRITTEN REPORT SHALL BE SUBMITTED. HYDRAULIC CALCULATION SHALL BE PROVIDED TO THE TOWN'S FIRE DEPARTMENT FOR APPROVAL.
6. ALL WATER CONNECTIONS SHALL BE CHLORINATED AND PRESSURE TESTED IN ACCORDANCE TO AWWA AND THE TOWN OF FREETOWN CONSTRUCTION STANDARDS AND SPECIFICATIONS PRIOR TO OPENING THE CONNECTION TO EXISTING PIPES.
7. APPROVAL OF THE FINAL CONFIGURATION OF THE WATER SERVICES SHALL BE DETERMINED BY THE UTILITIES DIVISION AND AN ENGINEER PREPARED FINAL PLAN APPROVED BY THE DIRECTOR OF UTILITIES.
8. THE TOWN'S WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL APPROVE ALL FIELD CHANGES IN THE WORK PRIOR TO IMPLEMENTATION. NO FIELD CHANGES SHALL BE MADE IN ANY SPECIFIED SITE WORK OR ANY MATERIALS FOR WHICH SHOP DRAWINGS HAVE BEEN SUBMITTED AND APPROVED WITHOUT PRIOR CONSULTATION OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER. ANY CHANGES SO MADE WITHOUT THE CONSENT OF THE WATER SUPERINTENDENT AND THE PROJECT ENGINEER SHALL, IF DEEMED UNACCEPTABLE BY EITHER PARTY, BE PROMPTLY REMOVED FROM THE WORK AT NO EXPENSE TO THE OWNER OF THE PROJECT.
9. THE CONTRACTOR SHALL INTERRUPT WATER SERVICE AND DISRUPT THE NORMAL FUNCTIONING OF THE DISTRIBUTION SYSTEM AS LITTLE AS POSSIBLE. THE CONTRACTOR SHALL NOTIFY THE TOWN'S WATER DEPARTMENT 72 HOURS IN ADVANCE OF ANY REQUIREMENT FOR UNWATERING OF ISOLATING A SECTION OF THE MAIN.
10. IN THE EVENT THAT NORMAL WATER SERVICE WILL BE INTERRUPTED FOR AN EXTENDED PERIOD, THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE LINES.
11. THE CONTRACTOR SHALL NOT OPERATE WATER DISTRIBUTION SYSTEM VALVES WITHOUT THE SUPERVISION OF THE WATER DEPARTMENT. IF SUCH SUPERVISION IS PROVIDED BY THE OWNER, AT TIMES OTHER THAN DURING REGULAR WORKING HOURS OF THE WATER DEPARTMENT, THE CONTRACTOR SHALL REIMBURSE THE WATER DEPARTMENT FOR ALL SALARY EXPENSES INCURRED BY THE WATER DEPARTMENT IN PROVIDING SUCH SUPERVISION.



- TYPICAL ROADWAY CONSTRUCTION MATERIAL NOTES**
1. BITUMINOUS CONCRETE SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATION M3.11.00.
 2. GRAVEL BORROW TYPE C SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATION M1.03.00 AS LISTED BELOW:
- GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:
- | SIEVE DESIGNATION | PERCENT PASSING | MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION |
|-------------------|-----------------|---|
| 1/2 IN | 50-85 | |
| NO. 4 | 40-75 | |
| NO. 50 | 8-28 | |
| NO. 200 | 0-10 | |



SITE DESIGN ENGINEERING, LLC.

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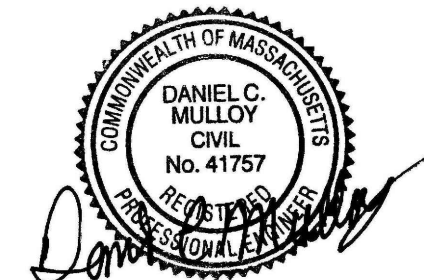
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